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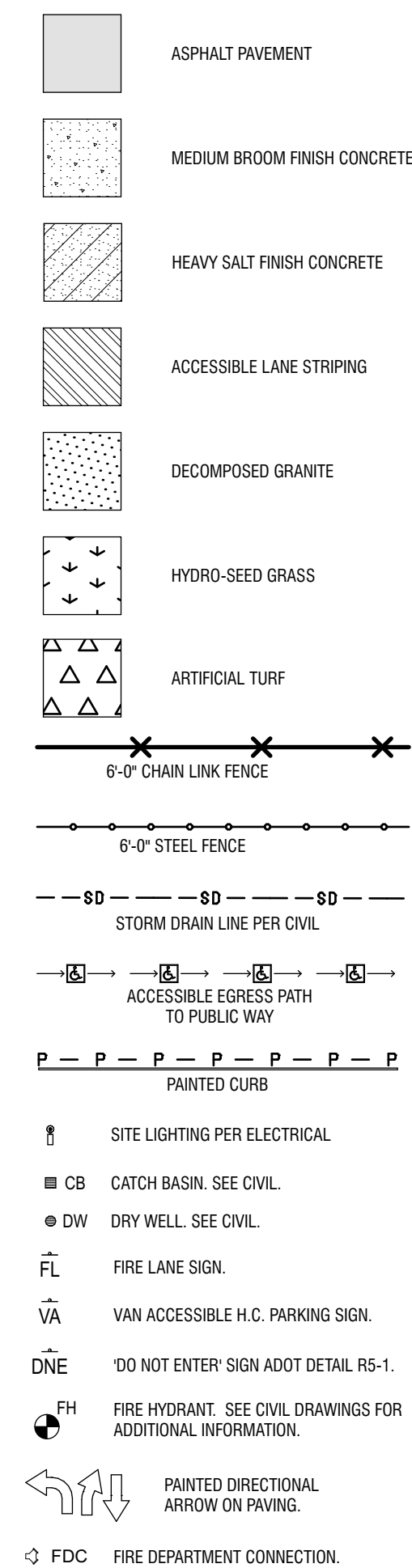
SITE PLAN GENERAL NOTES:

- A. Remove all existing vegetation, site improvements, etc. whether or not specified on the drawings to facilitate the completion of all required new work, unless noted otherwise. Visit the site and verify all quantities and items that are required to be removed prior to submittal of bid/proposal. Such work shall be considered part of the base bid.
- B. Slope all grades and pavement away from building(s) to provide positive drainage, unless noted otherwise.
- C. Finish grade at sidewalks, walkways, etc., as required to provide smooth transition to grade.
- D. Angles indicated are 45 degrees unless noted otherwise.
- E. Remove construction debris from the site as required to maintain clean and safe conditions on a continuing basis for the duration of construction.
- F. Provide expansion joints at a maximum spacing of 20 feet OC and control joints at 5 feet OC at concrete sidewalks unless otherwise noted.
- G. Perform all clearing, grading and earthwork in accordance with the Geotechnical report and unless more restrictive requirements exist.
- H. Verify that slopes in the direction of travel will be no greater than 1:20 (5%) at pavement locations prior to installation of pavement. Notify architect immediately for direction on how to address this condition.
- I. Test all proposed fill material utilizing a qualified testing agency to verify that it meets all specification requirements prior to placing on site.
- J. Dimensions shown are to outside face of stem walls/foundations unless noted otherwise.
- K. Document original condition of areas that may be disturbed during the course of construction. Restore all areas disturbed by construction, staining, etc. prior to project completion.
- L. All sidewalks at building entryways shall be "keyed" into building slab to prevent differential movement.

SITE PLAN KEYNOTES:

1. Vault location. See consultant drawings for more information.
2. Fire-truck turning radius.
3. Flagpole.
4. Playground equipment and shade structures provided by others. Provide bounding curbs and drainage per civil.
5. Phase 1 marquee sign.
6. Electrical transformer on 10' square pad per SRP design.
7. SES. See electrical design.
8. 4' high steel playground fence, north and east elevations only.
9. Line of 8' property easement.
10. Location of phase 2 marquee sign.
11. 8' high painted masonry site wall.
12. Trash dumpsters provided by owner.
13. Roll-curb. See civil design for details.
14. 6" dia. steel pipe bollards.
15. 1st phase over-excavation zone.
16. Grassy interceptor location. See plumbing/civil.
17. Striped pavement indicating bus/parent drop/pick lane.
18. Precast parking bumper. TYP where no curb is adjacent and at accessible spaces only. See 5C / AS103.
19. Sidewalk scupper location.
20. ALTERNATE BID: asphalt driveway and parking lane.
21. Exterior car-wash sign. See plumbing.
22. Booster pump system with clear area. Reference plumbing design.
23. Tube-steel column and metal panel roof above.
24. Slope concrete in this area away from SES.
25. 6" high concrete curb for cane detection. DG area within.
26. 4" high concrete housekeeping pad for booster pump. Dimensions: 5'-6" x 9'-2" centered on pump as shown.
27. Elevator sump pump daylight here.
28. High and Low exterior drinking fountain

## SITE PLAN LEGEND



## CLIENT CONTACT

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20217 east chandler j.lamb2@qcusd.org  
heights road  
queen creek, az 85142

PROJECT NO.  
**2020 259**

REVISION NO

PROJECT TEAM	DRAWN BY
ed studio	jf, mb

PROJECT PHASE  
construction docum

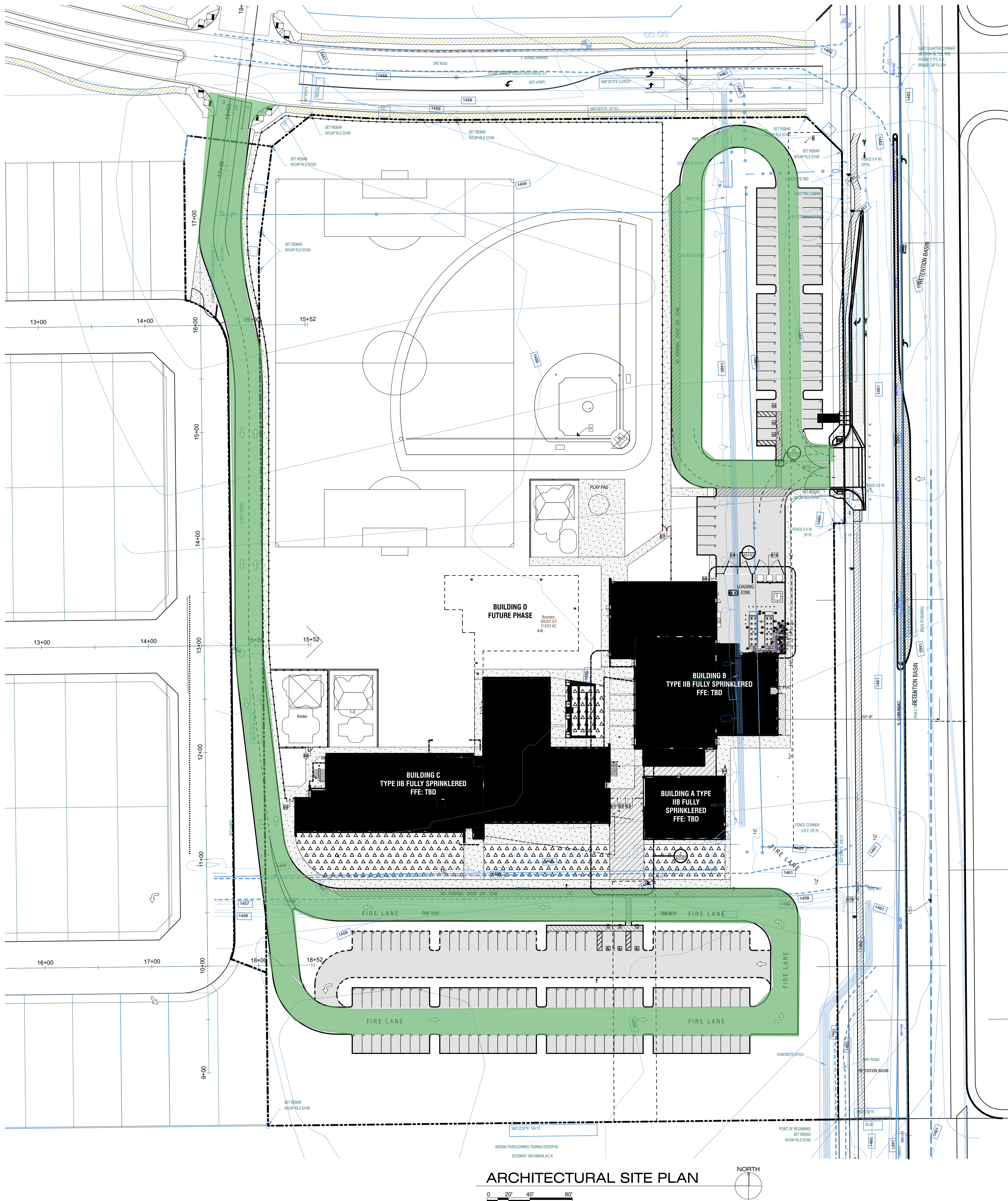
SHEET CONTENTS

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**architectural site plan**

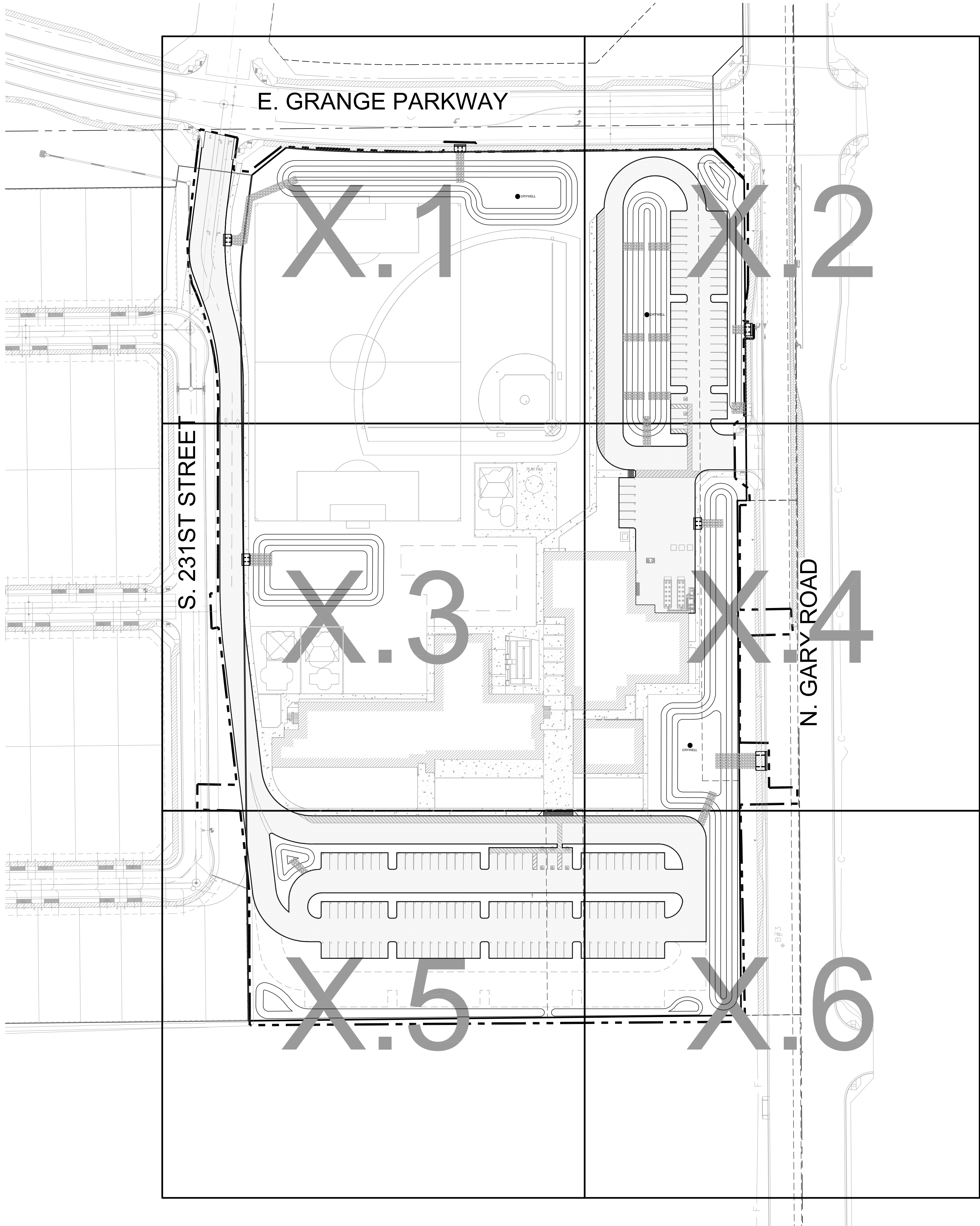
SHEET NO.

# AS101





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INDEX MAP  
SCALE: 1" = 60'



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REV.	

QUEEN CREEK USD  
HARVEST SCHOOL

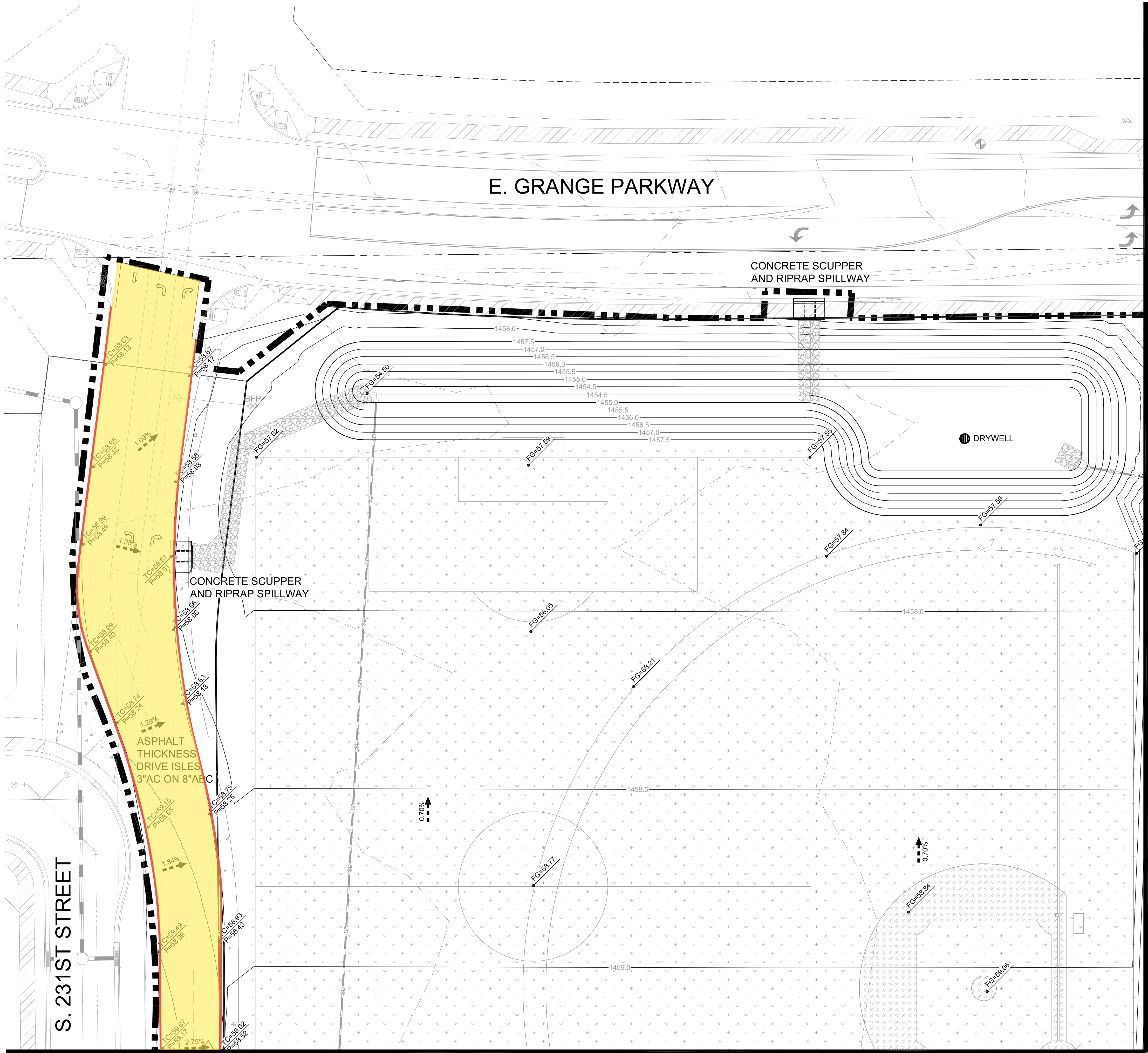
N. GARY ROAD QUEEN CREEK, AZ	
DESIGNED:	JLP
DATE:	Aug 31, 2020
DRAWN:	TML
PROJ.	20-137
SCALE:	1" = 60'

INDEX MAP

DWG. NO.  
**C-01.4**



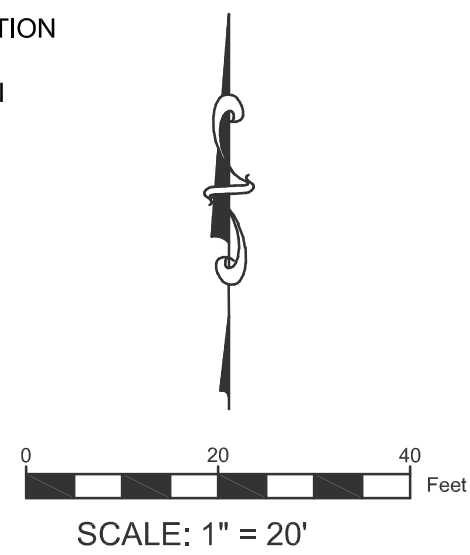
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Curb

## LEGEND

- LIMITS OF CONSTRUCTION
- > DRAINAGE ARROW
- NEW NATURAL GRASS
- NEW INFILD FINES
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- NEW BUILDING
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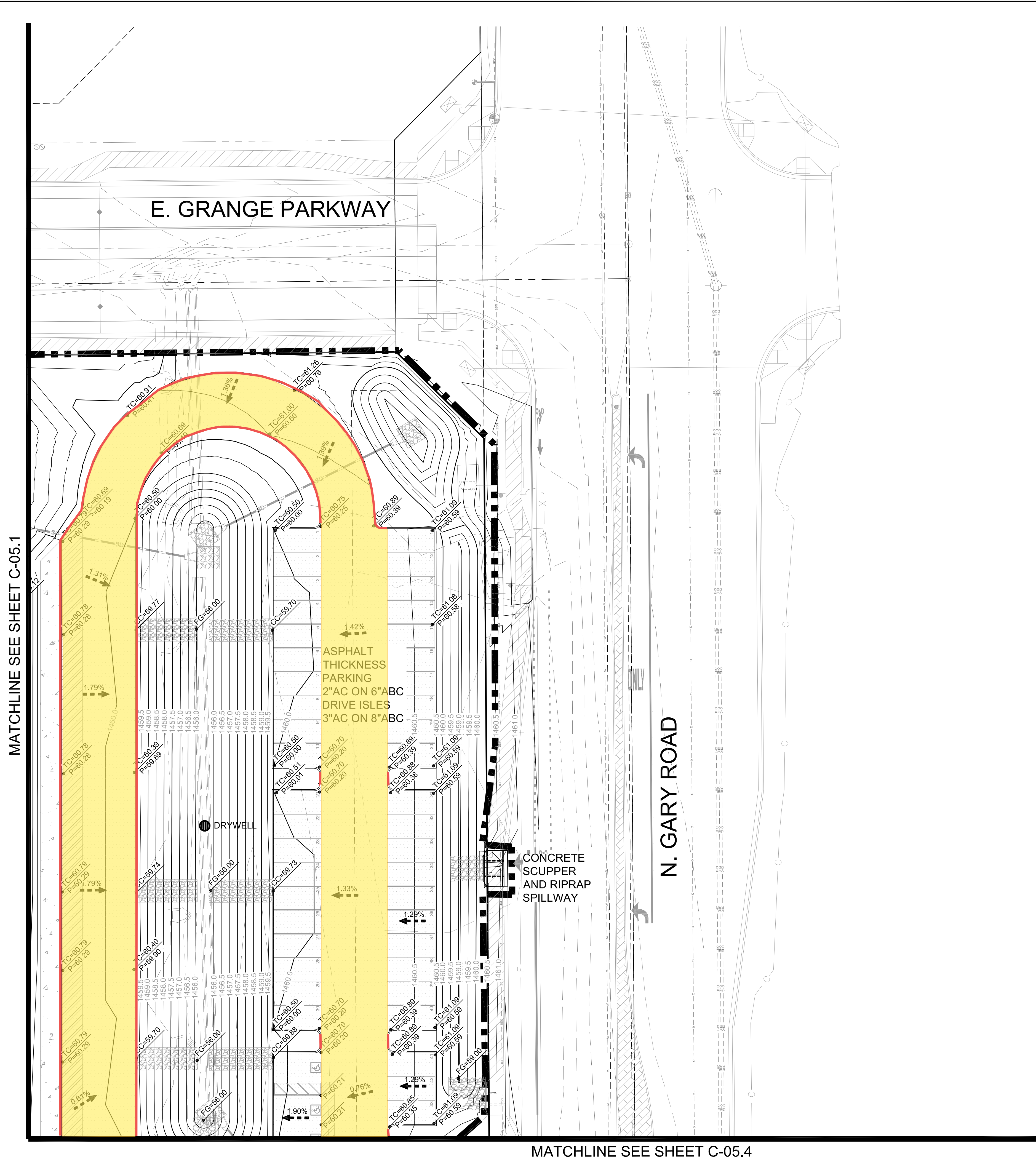
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DWG. NO.

C-05.1



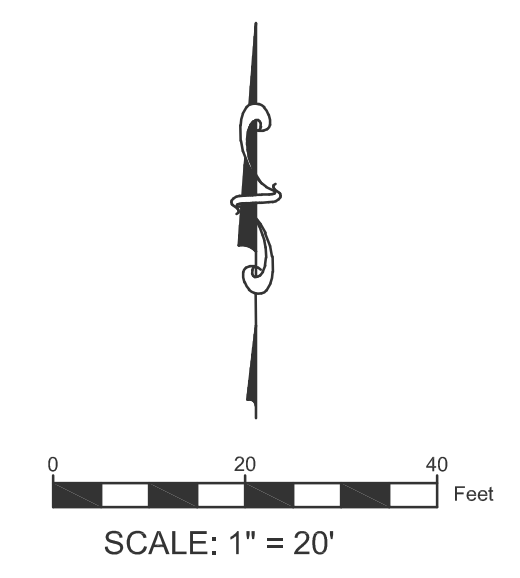
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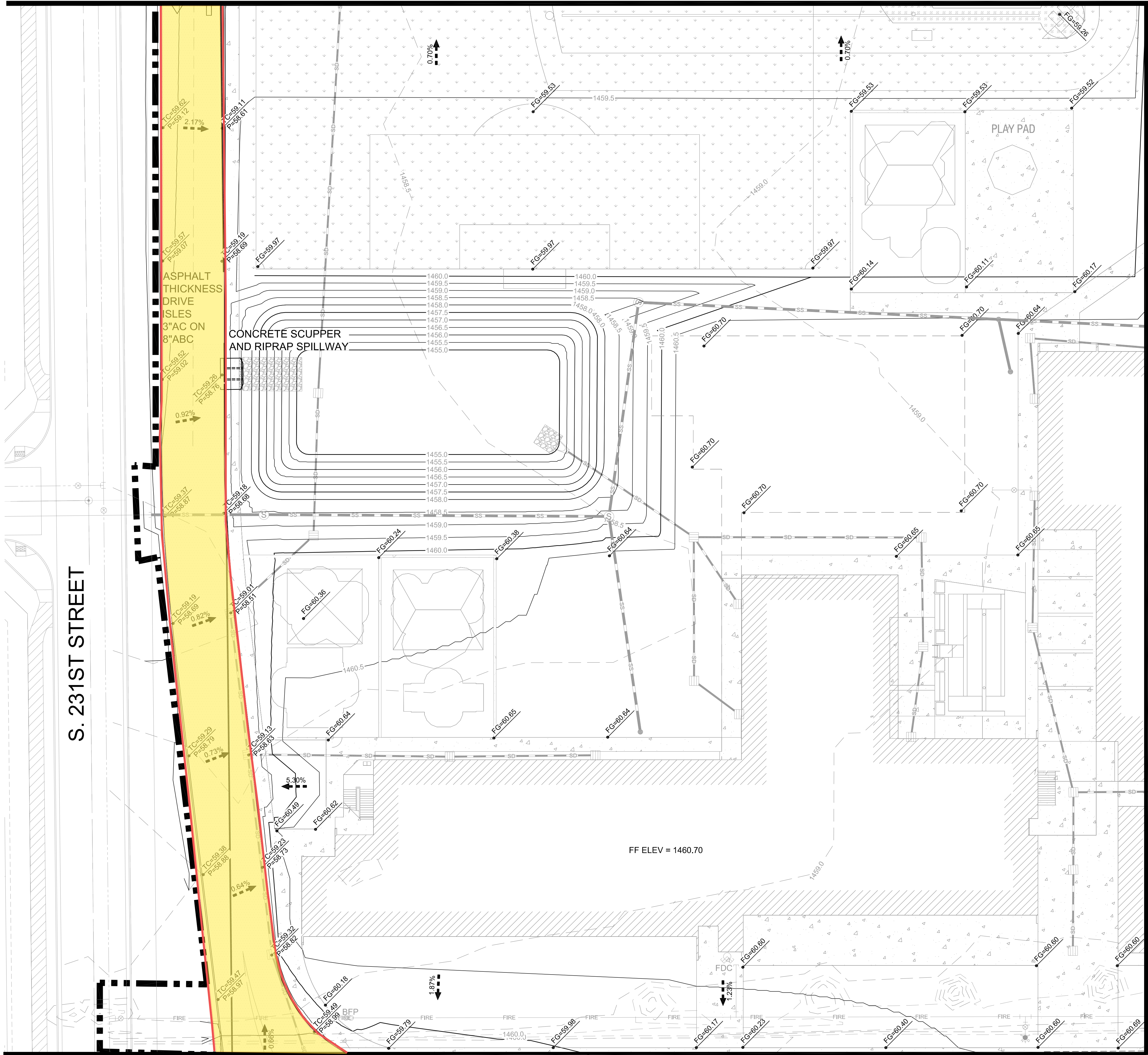
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MATCHLINE SEE SHEET C-05.1



MATCHLINE SEE SHEET C-05.5

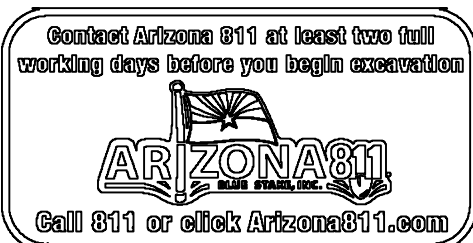
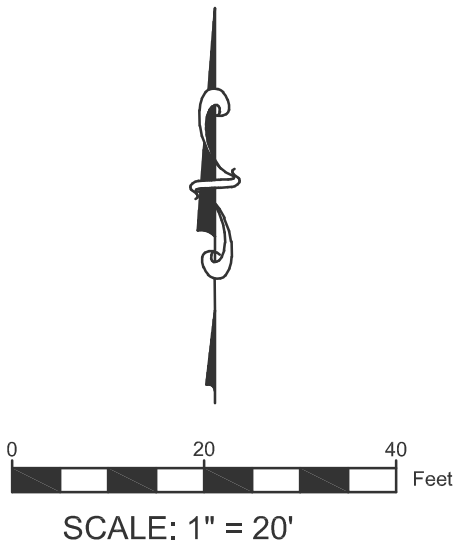
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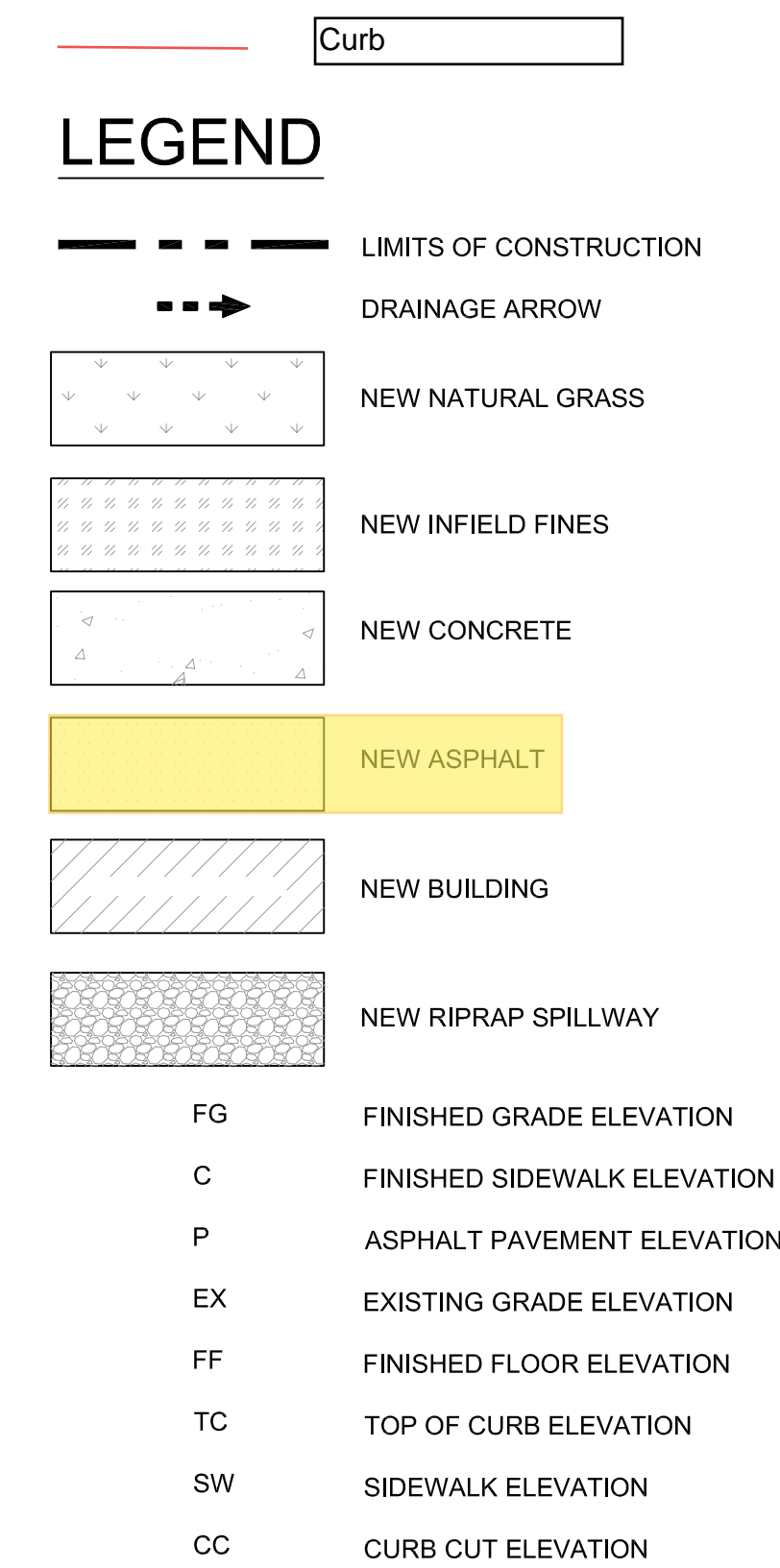
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C-05.3



MATCHLINE SEE SHEET C-05.6

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0 20 40 Feet

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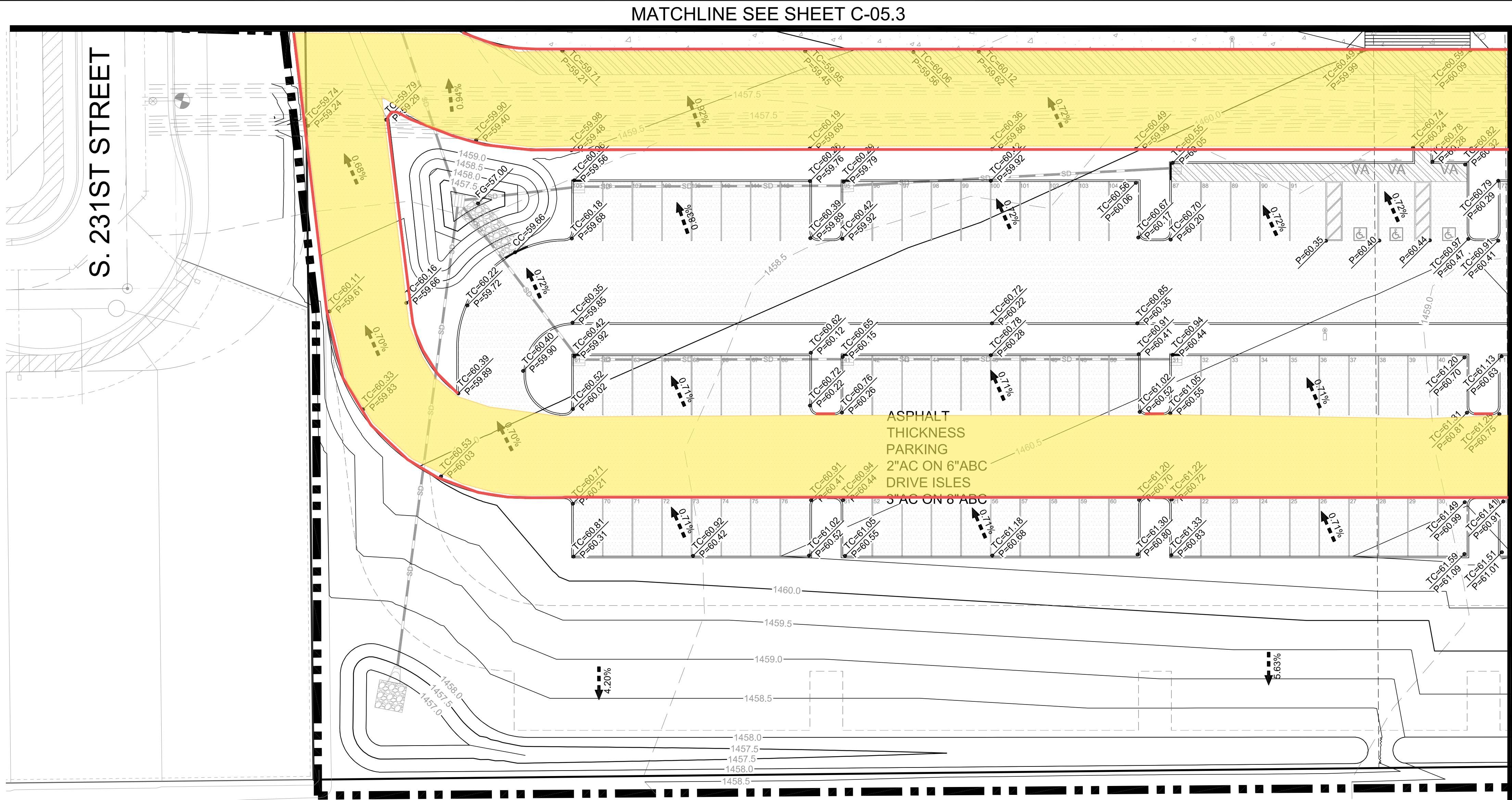
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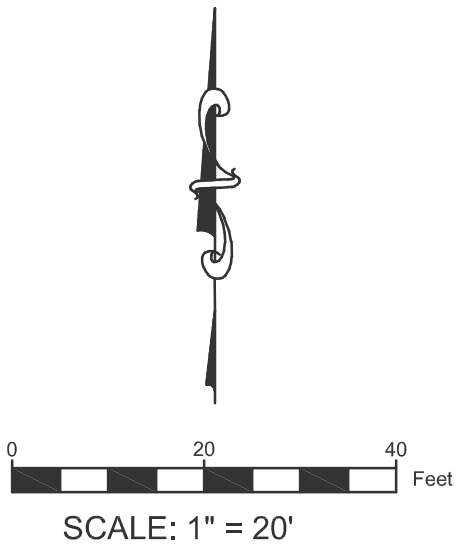
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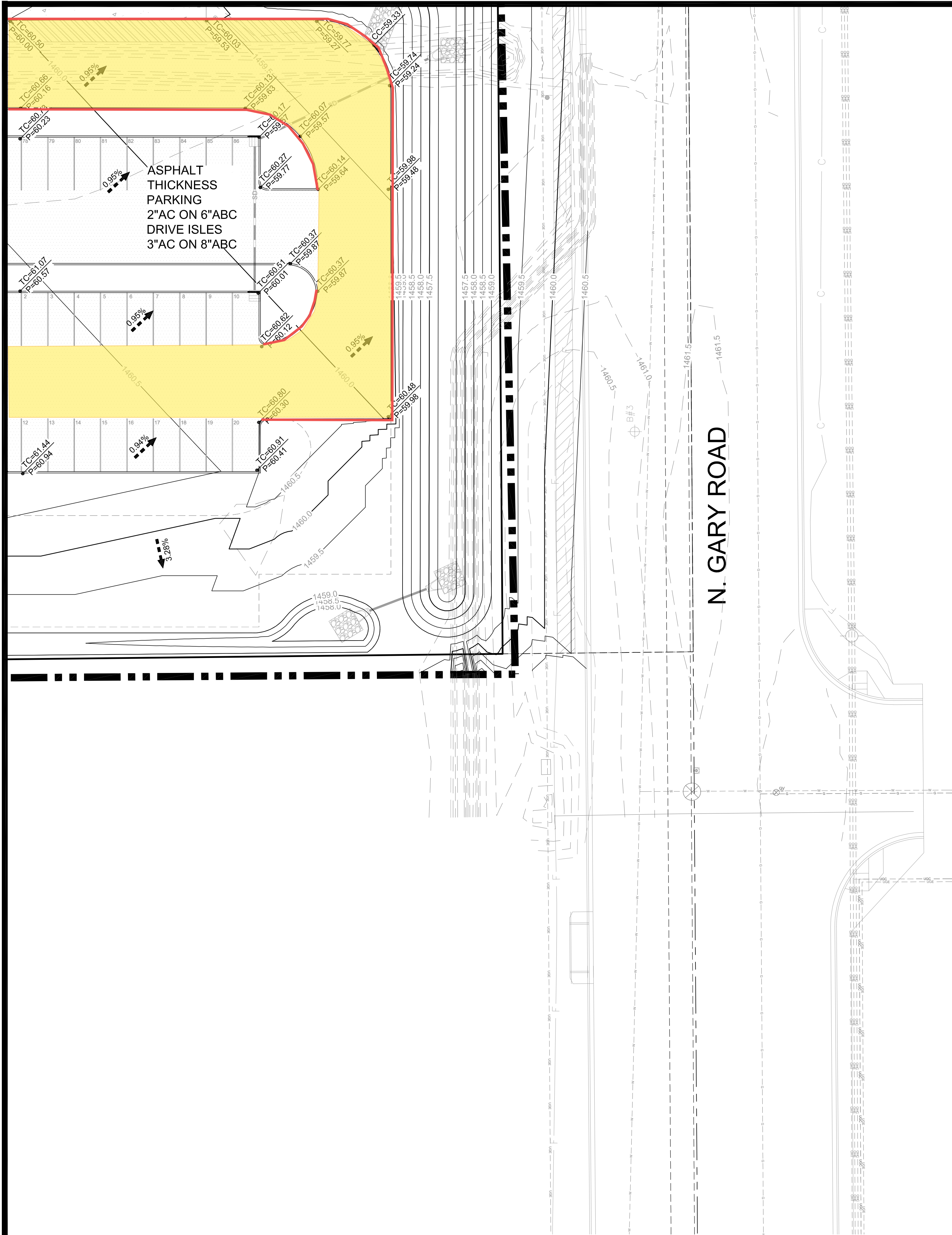
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MATCHLINE SEE SHEET C-05.5

MATCHLINE SEE SHEET C-05.3



Curb

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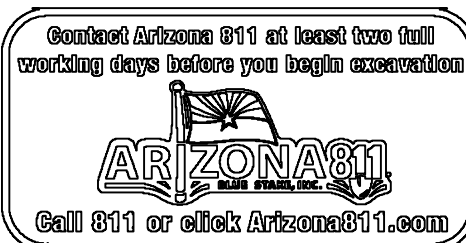
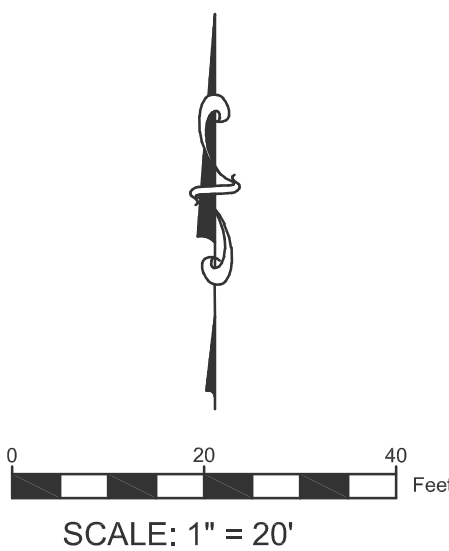
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DWG. NO.

C-05.6



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